



Opportunity Day

N.C. HOUSING

PUBLIC COMPANY LIMITED

4Q24 & YE2024

Mar 11, 2025

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Opportunity Day



- 01 COMPANY OVERVIEW**
- 02 UPDATE ON PROJECTS**
- 03 PERFORMANCE 4Q24 & YE24**
- 04 WHAT'S NEW**
- 05 Q&A**

Home Expert, Living Care

NCH (SET)

Established: 1994 (2537)

Listed in SET: 2004 (2547)

Registered and paid capital: THB 1,245 million

Business SCOPE



Property Development



Land Development



Service Apartment



Precast Product



Sport Club



Project Management



Community Management



Wellness



Since 1994



74 PROJECTS

50,150 MB

and counting!



- 5-STAR EXCELLENT CGR RATING
- BEST CORPORATE GOVERNANCE
- FULL 100 PTS. AGM CHECKLIST
- ENERGY-EFFICIENT HOME AWARD: REDUCING ELECTRICITY COSTS
- GREEN MISSION CERTIFICATION BY TOA
- BEST CEO ECONMASS AWARDS



31 YEARS *of Success*



SEGMENT & BRAND

Classification



HIGH-END
LUXURY HOMES



UPPER-MID
RANGE HOMES



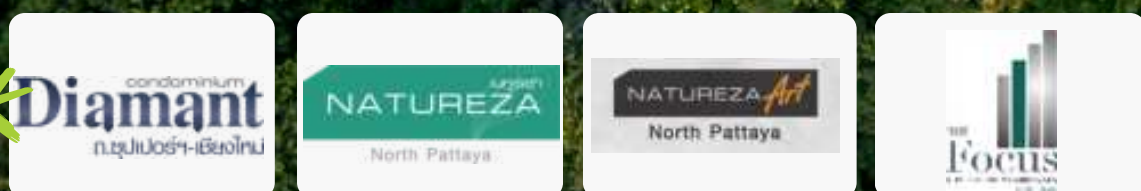
AFFORDABLE
HOMES



ECONOMY
HOMES



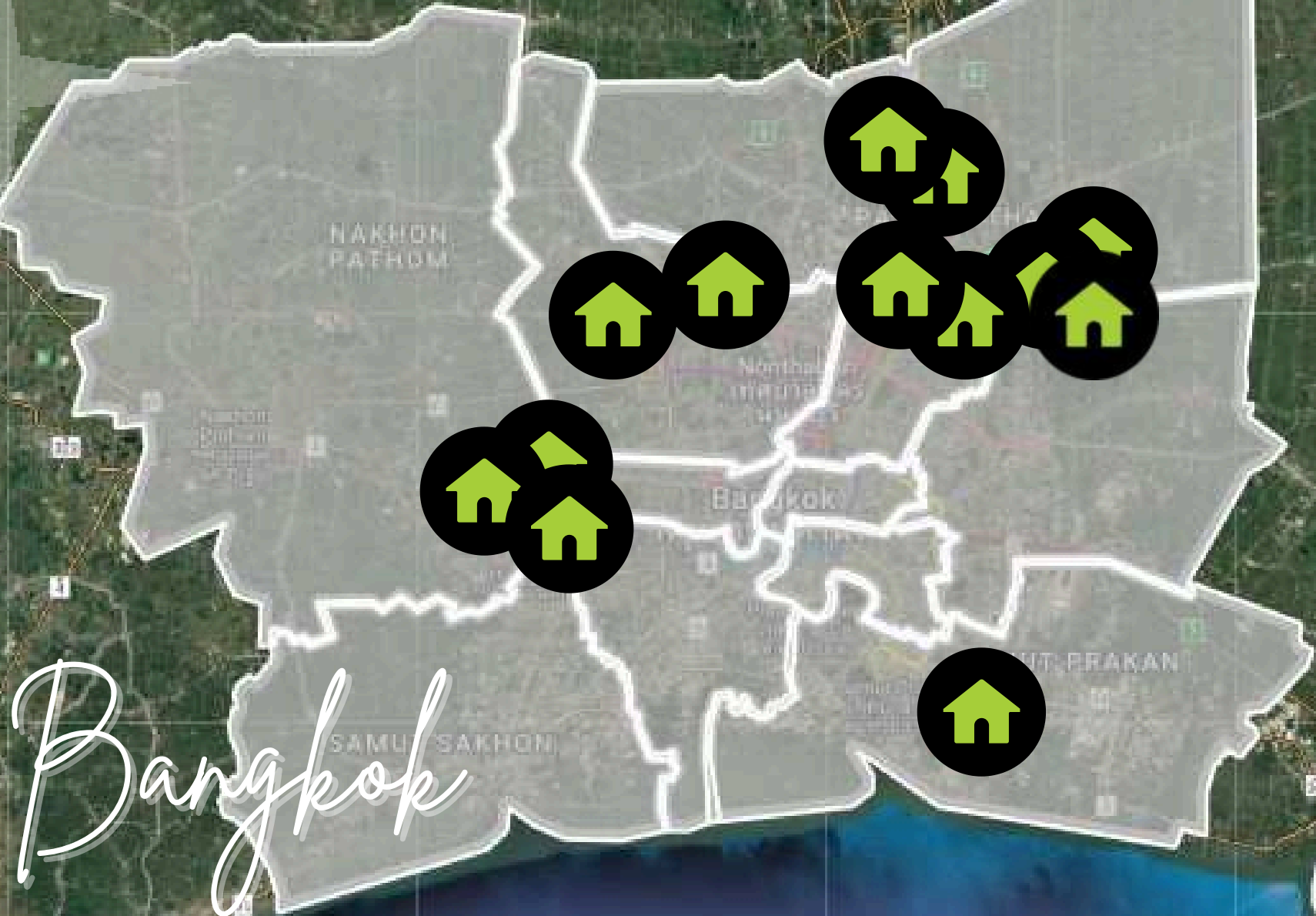
CONDOMINIUM



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Bangkok

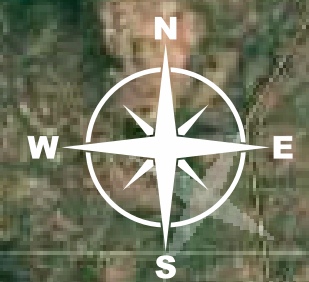
14 ACTIVE PROJECTS
12,500 MB

Chonburi



BACKLOG
260 MB
 70 units

INVENTORY
6,210 MB
 1,530 units





NC PIYAROM WELL-LIVING TOWNSHIP

We began our real estate development endeavors under the name "Baan Fah," and have since expanded through numerous projects, ultimately establishing a township.

BAANFAH PIYAROM NORDERN



11



PRICE

SDH : 7.39 - 17.00 MB

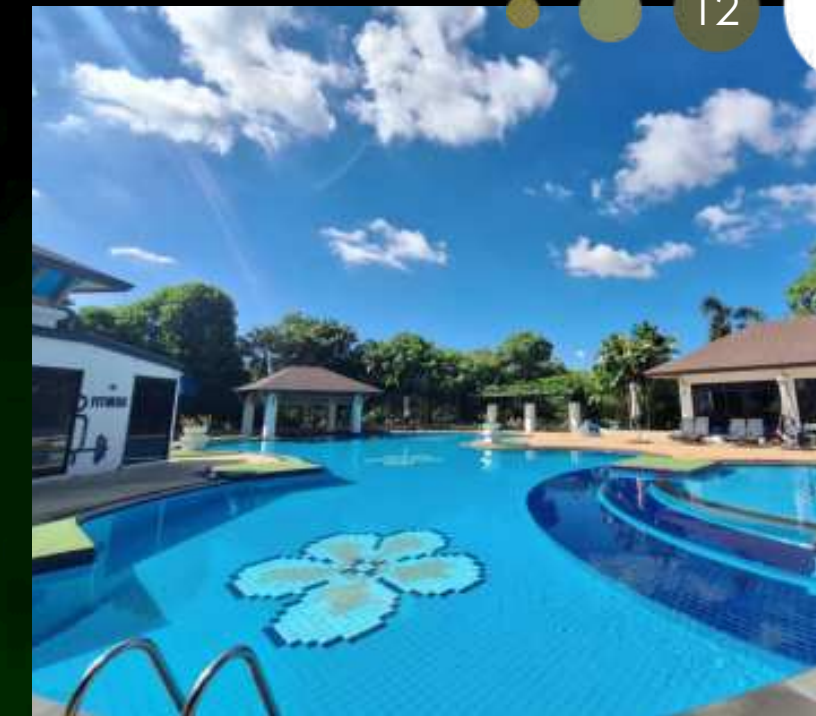


PROJECT VALUE
964 MB

96% SOLD

NC ON GREEN TOWNSHIP

Discover a dream home beside the golf course. Enjoy breathtaking views, fresh air, and a lifestyle of luxury and tranquility. Experience the perfect blend of elegance and nature.



NC ON GREEN CHARM CLASSIC

NC ON GREEN
CHARM
Classic
WONGWAEN - LAMLUKKA

13



PRICE

SDH : 5.59 - 19.00 MB



PROJECT VALUE
1,089 MB
95% SOLD



NC ON GREEN PALM PARK 2



PRICE DH : STARTS 4.39 MB
TH : 2.29-3.29 MB



PROJECT VALUE
998 MB

100% SOLD



RANGSIT-LAMLUKKA

LIVE WHERE COMFORT MEETS CONVENIENCE

Looking for the ideal spot to call home? Rangsit-Lamlukka offers the perfect balance of city convenience and peaceful living

BAANFAH GREENERY NEOLA

RANGSIT KLONG 2



16

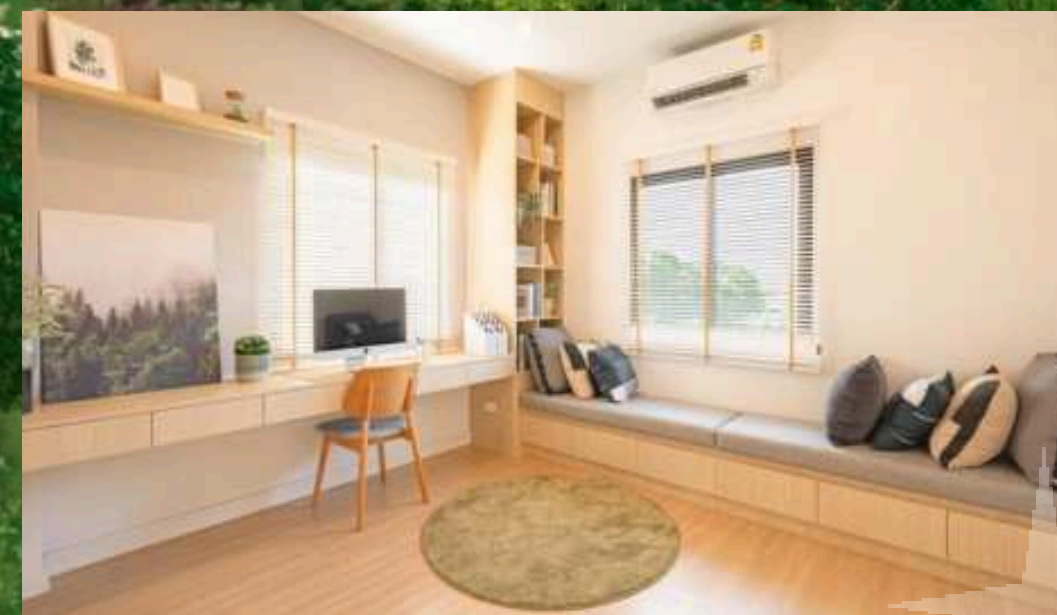
PROJECT VALUE
1,005 MB

29% SOLD

PRICE

SDH : STARTS 5.69 MB

DH : STARTS 3.99 MB

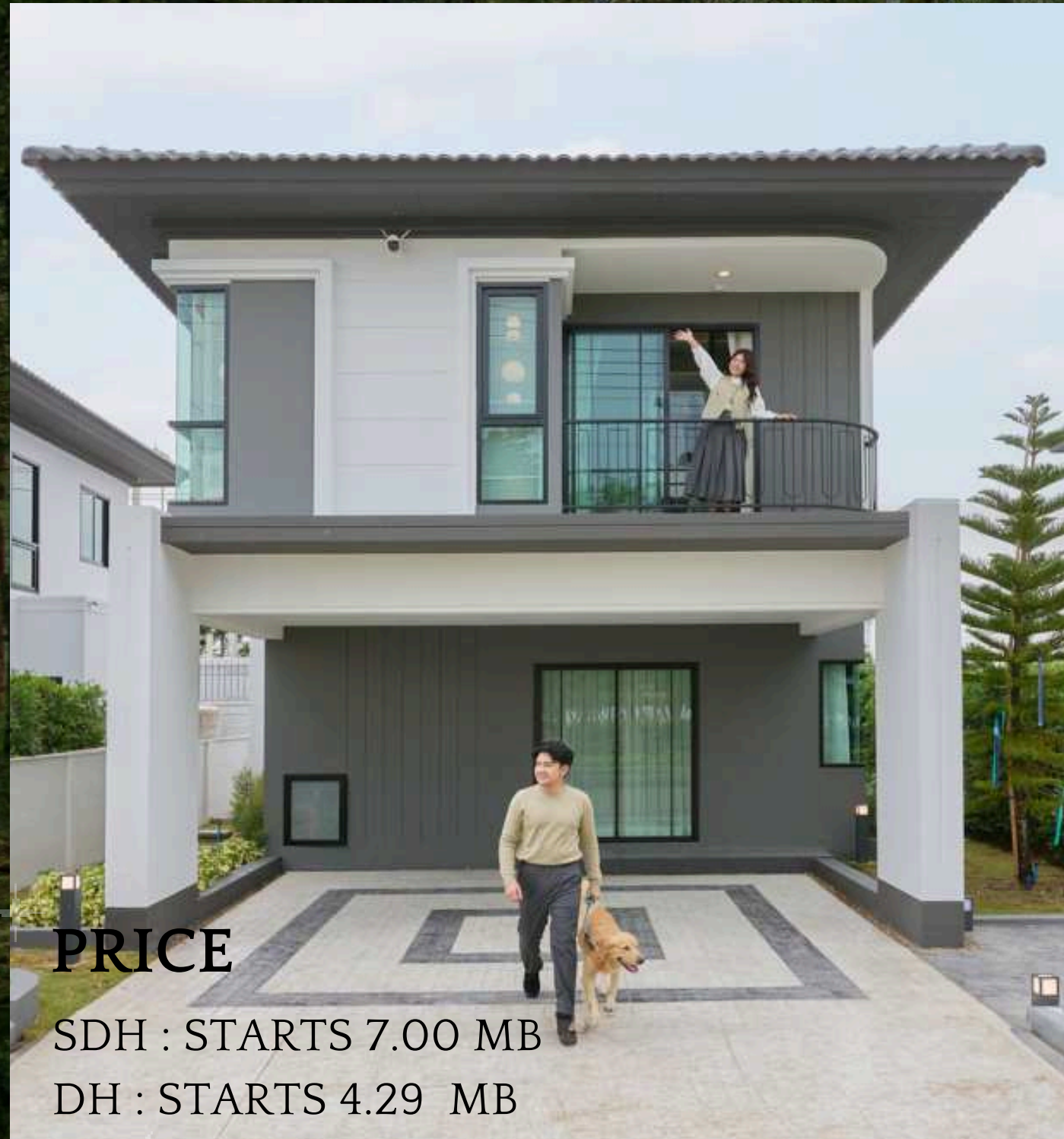


NC NEOLA

NC
NEOLA



WONGWAEN-LAMLUKKA KLONG 5



PRICE

SDH : STARTS 7.00 MB

DH : STARTS 4.29 MB



PROJECT VALUE

651 MB

12% SOLD

BAANFAH GREENERY NEOLA

WONGWAEN-LAMLUKKA KLONG 7



18

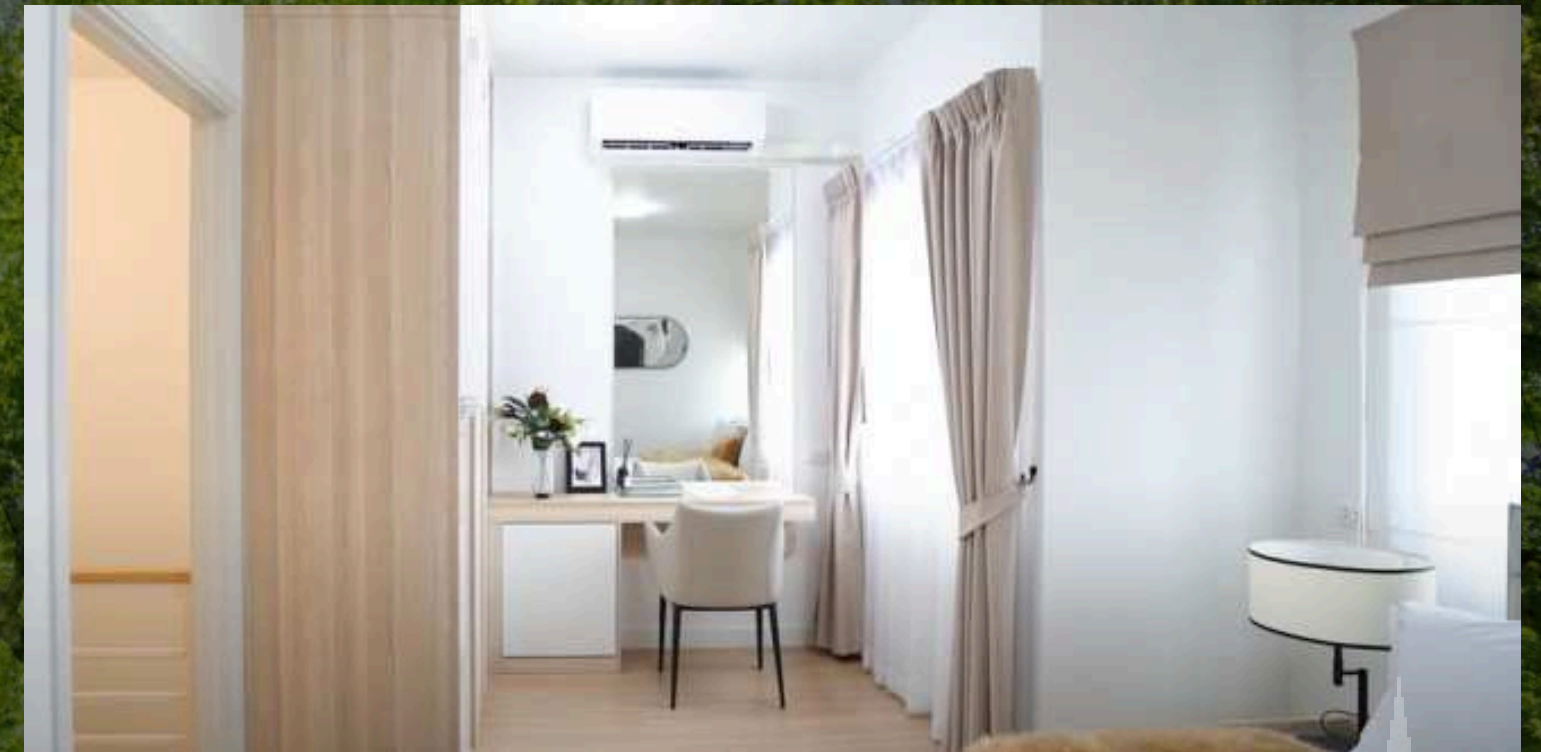


PRICE DH : STARTS 3.99 MB



PROJECT VALUE 493 MB
50% SOLD

BAANFAH GREENPARK TIME



PROJECT VALUE
881 MB

77% SOLD

PRICE DH : STARTS 3.24 MB
TH : STARTS 1.66 MB



WESTERN BKK

INDULGE IN SUPREME SERENITY

Escape to a world of unrivaled tranquility and luxury
—where every moment is pure bliss



NC TIWA

PINKLAO SAI 5



PRICE
SDH : STARTS 9-13 MB

PROJECT VALUE 491 MB
28% SOLD

BAANFAH GREENERY THEO

PINKLAO PETCHKASEM



PROJECT VALUE 1,758 MB

68% SOLD

PRICE

SDH : STARTS 6.25 MB

DH : STARTS 4.45 MB

TH : STARTS 2.90 MB

BAANFAH GREENERY THEO

CHAIYAPRUEK-CHAENGWATTANA



PRICE

SDH : STARTS 7.99 MB

DH : STARTS 5.69 MB

PROJECT VALUE 1,258 MB

22% SOLD

BAANFAH GRAND TOWNEE

WESTGATE

BAANFAH
GRAND
TOWNEE
Westgate

24



PROJECT VALUE
705 MB

7% SOLD

PRICE

DH : STARTS 3.99 MB

TH : STARTS 2.45 MB



BAANFAH GRAND TOWNEE

PETCHKASEM SAI 5

BAANFAH
GRAND
TOWNEE |
Petchkasem - Sai 5

25



PROJECT VALUE

1,440 MB

8% **SOLD**

PRICE

DH : STARTS 4.95 MB

TH : STARTS 2.39 MB

บ้านฟ้า
TOWNEE
SRINAKARIN - THEPARAK

BAANFAH TOWNEE

SRINAKARIN-THEPARAK

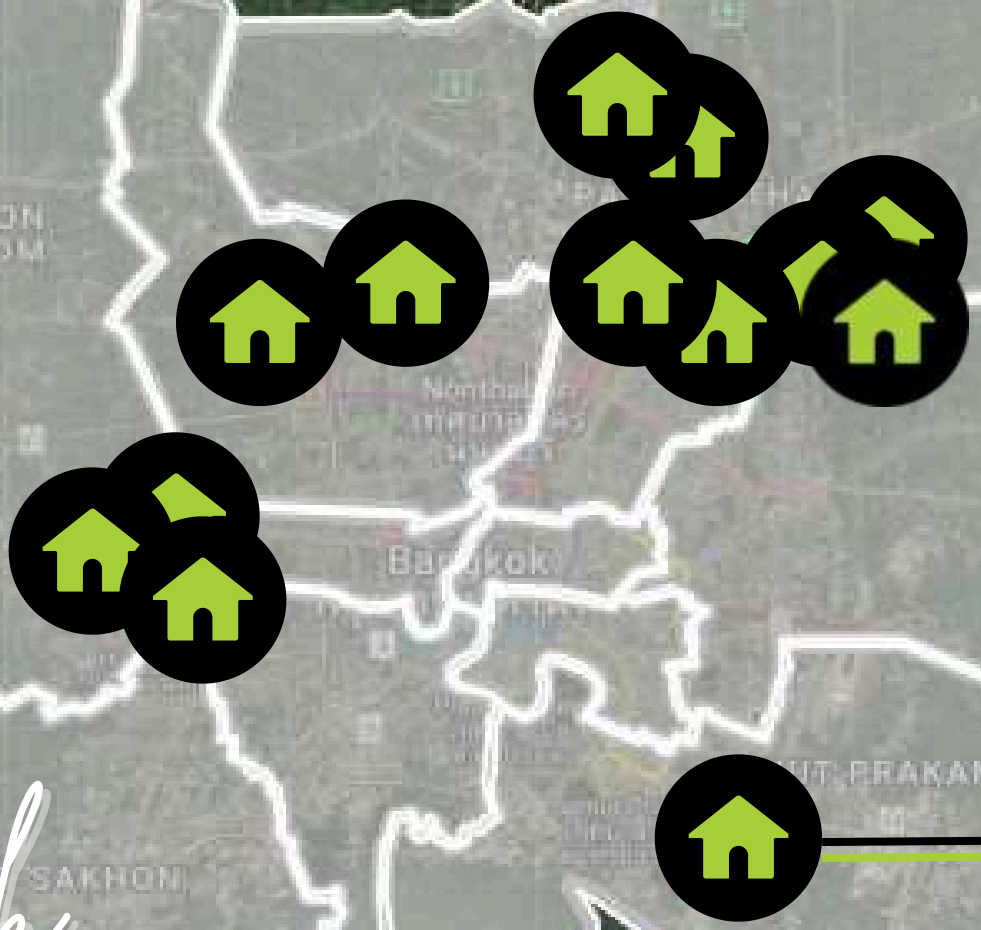
PROJECT VALUE 308 MB
19% SOLD

PRICE
TH : STARTS 2.49 MB



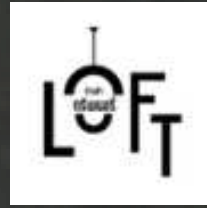
Bangkok

Chonburi



CHACHOENGSAO

27



BAANFAH GREENERY LOFT

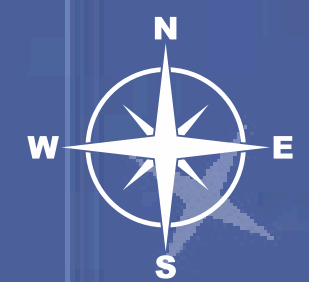
PATTAYA

PROJECT VALUE 340 MB
81% SOLD

PRICE
DH : STARTS 4 MB



Chonburi



Kham
Mal Island
เกาะหมาก

Rayong
แคว้นราชบุรี

HABUR

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PERFORMANCE

CONSOLIDATED FINANCIAL STATEMENTS

Highlights



4Q24

PRESALE

551 MB

TRANSFER

237 MB

REVENUE

257 MB

YE24

PRESALE

3,179 MB

TRANSFER

1,189 MB

REVENUE

1,270 MB

PERFORMANCE 4Q24 & YE24

CONSOLIDATED FINANCIAL STATEMENTS



REAL ESTATE MARKET IN Y24 : SLOWER RECOVERY THAN EXPECTED, MEASURES LACKED IMPACT



- High household & informal debt - Raise financial challenges for consumers
- Low economic & political confidence - **Weakened purchasing decisions**
- Strict mortgage approvals - High rejection rates
- High interest rates & LTV regulations - **Limited access to housing loans**
- Rising land prices - **Increased development costs**, making homes less affordable

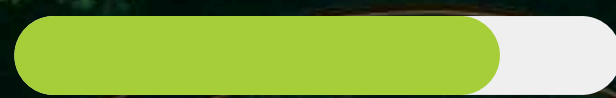


Government Stimulus Measures:

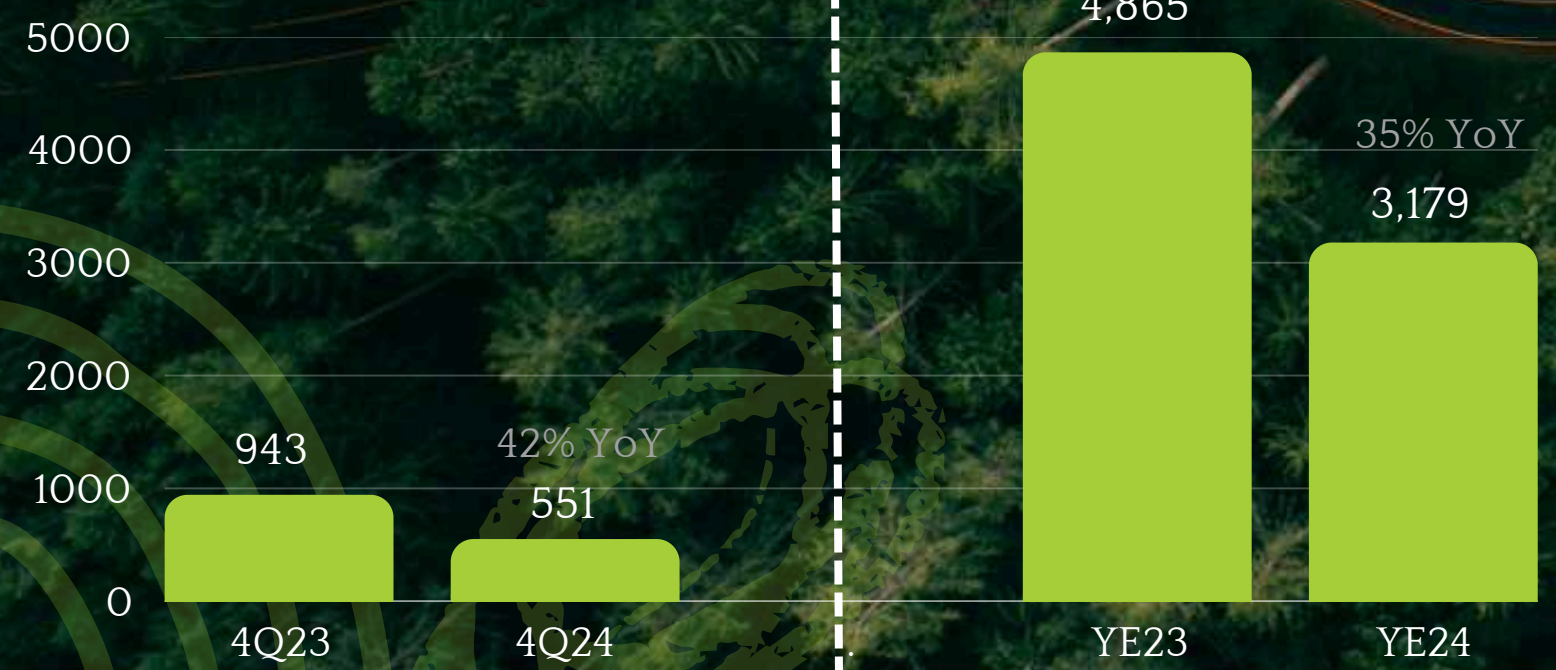
- Transfer fees cut from 2% to 0.01%
- Mortgage fees cut from 1% to 0.01%
- Personal income tax deduction for self-built homes
- Special state bank loans for low-income buyers
- 3-year tax break for affordable housing projects (<THB 1.5M)

Presale

80% of target 4,000 MB

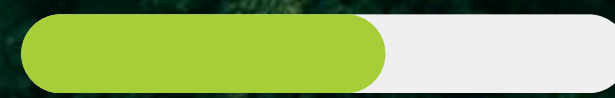


Unit: MB

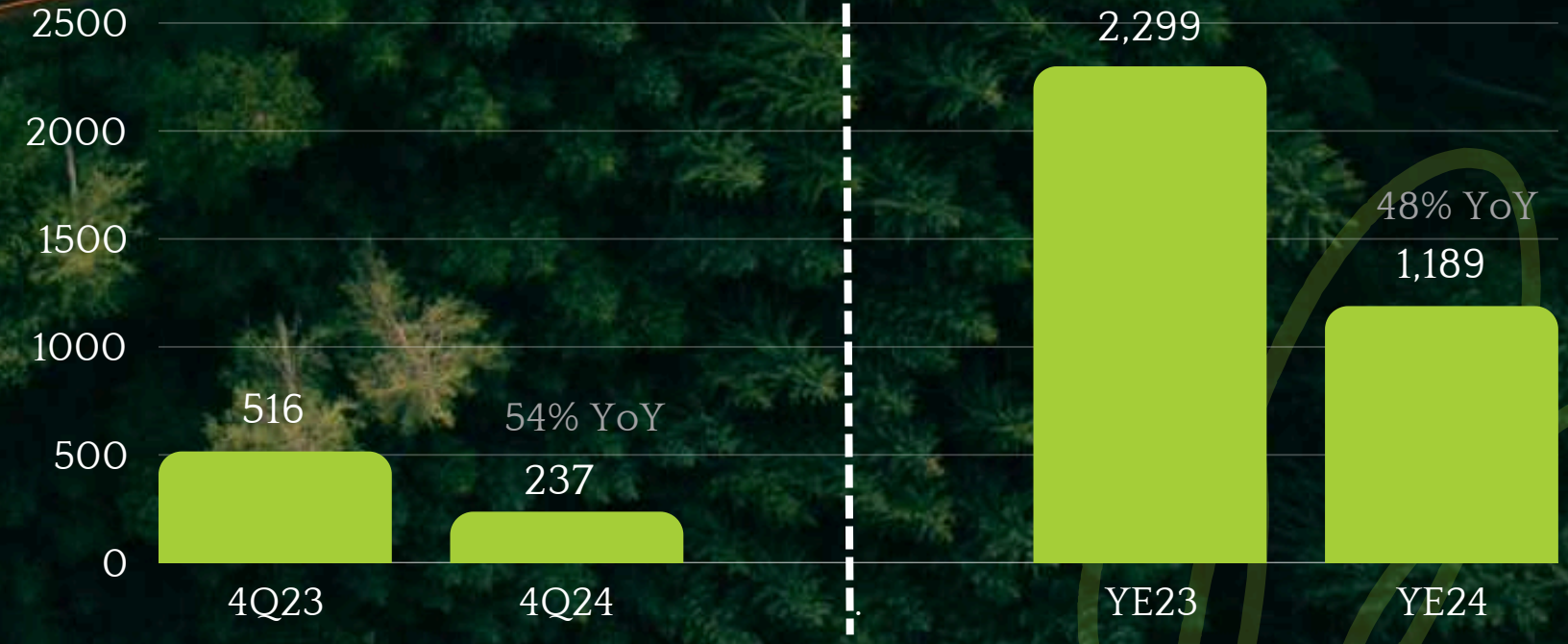


Transfer

60% of target 1,992 MB



Unit: MB



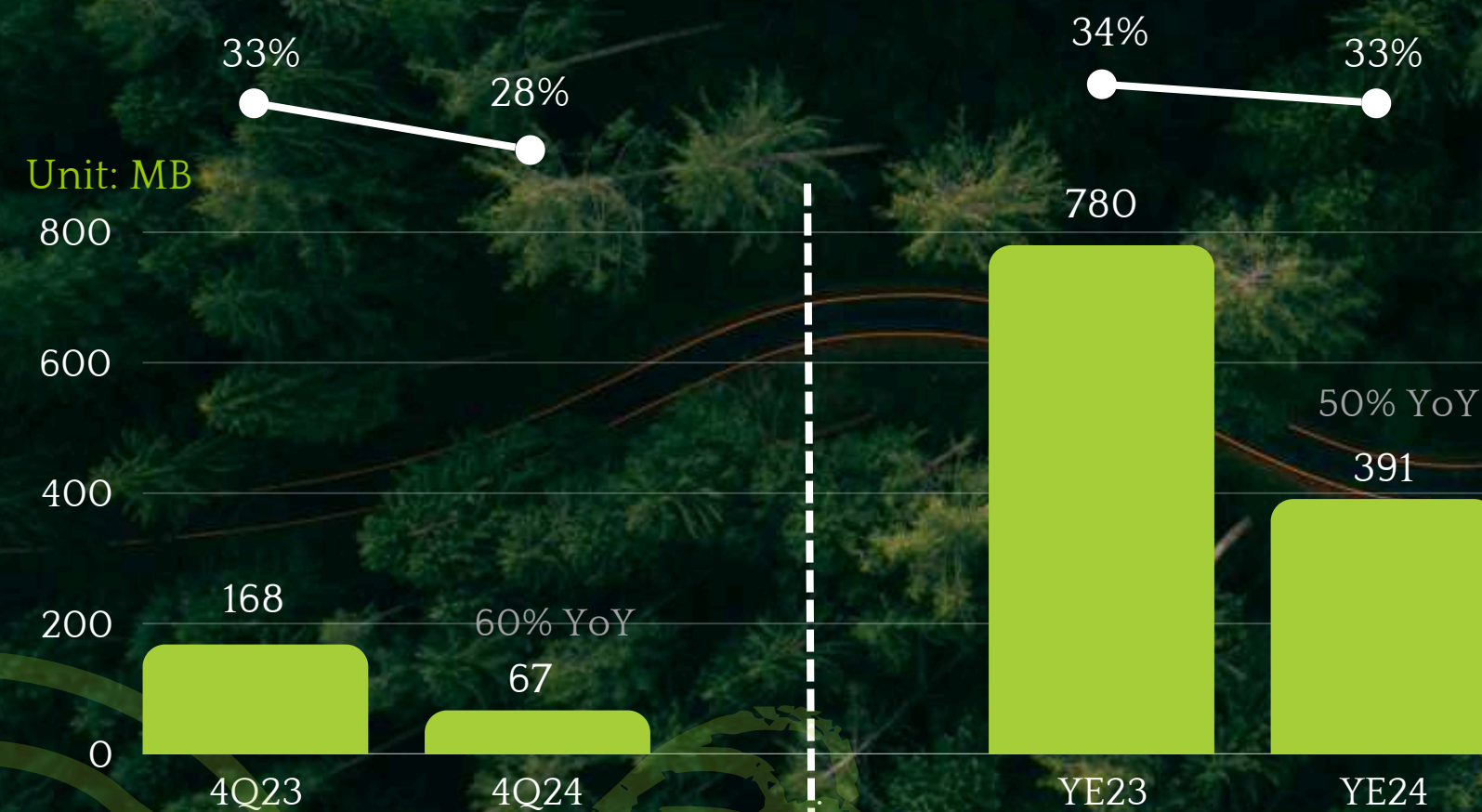
PERFORMANCE 4Q24 & YE24

CONSOLIDATED FINANCIAL STATEMENTS



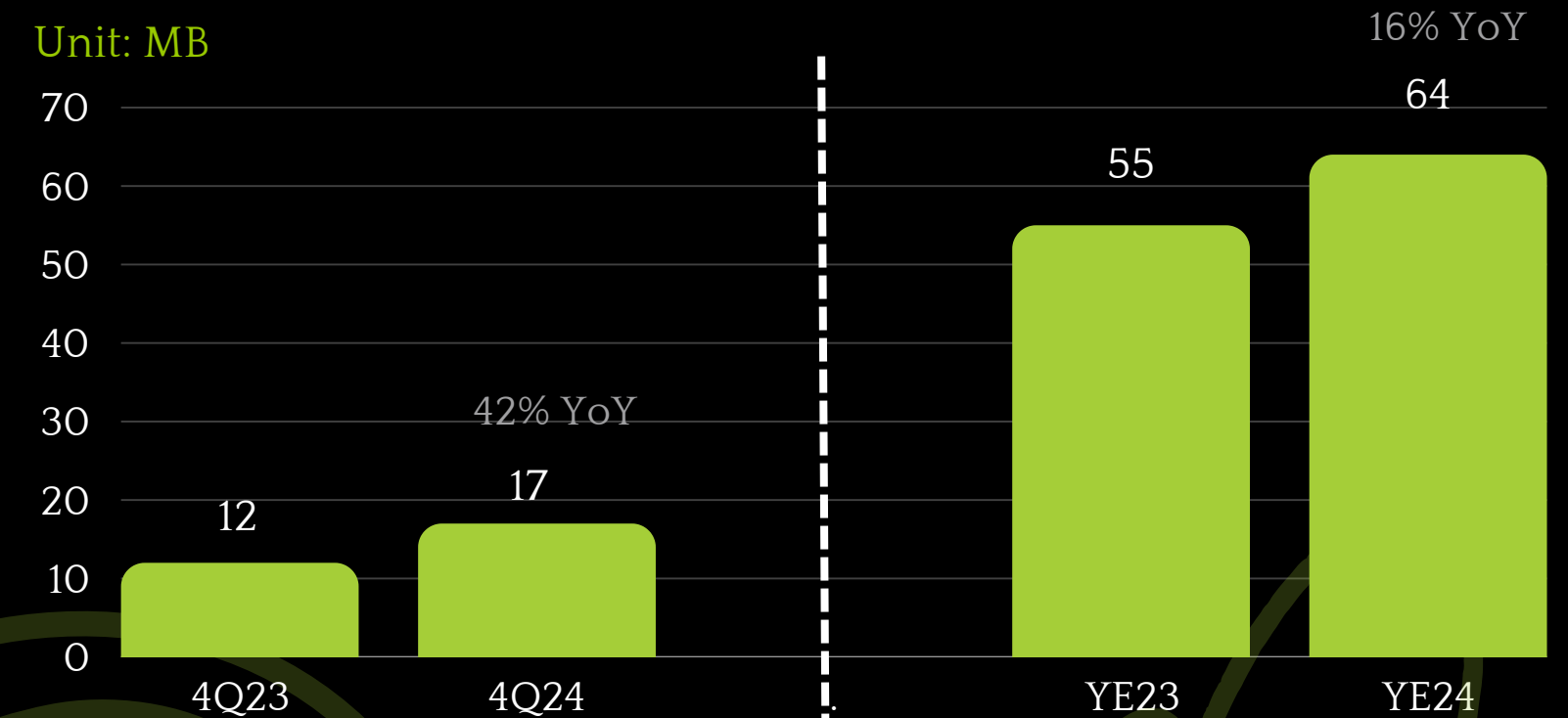
Gross Profit & GPM

*GP=Revenue from sales-Cost of sales



Revenue from Rental & Service

*Revenue from sport complex, intermediate care and wellness, and property management services



PERFORMANCE 4Q24 & YE24

CONSOLIDATED FINANCIAL STATEMENTS



SG&A

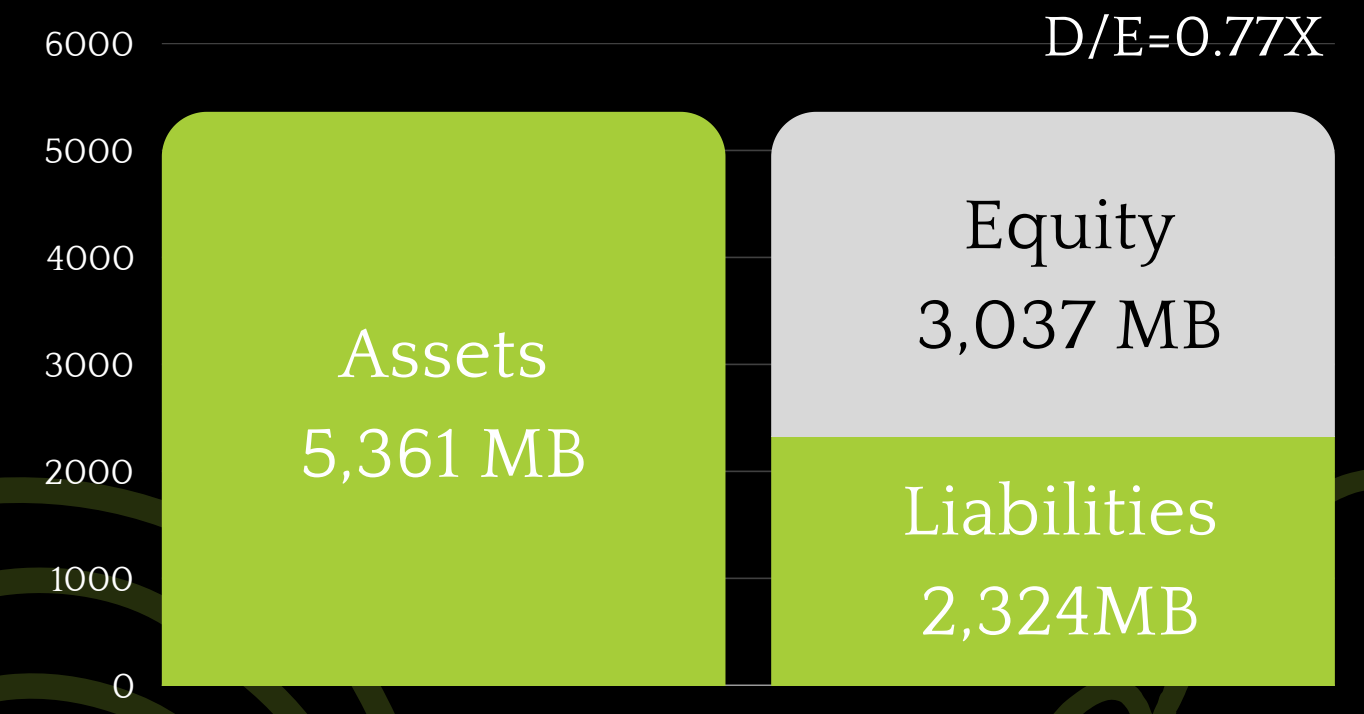


Net Profit

*Attributable to owners of the parent

Period	Net Profit (MB)	YoY Change
4Q24	-24 MB	177% YoY
YE24	-34 MB	121% YoY

Financial Position



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Y2025

ESG 1st

NC
GROUP



Presafe TARGET

4,000 MB

Transfer TARGET

2,000 MB

2020



Chiangmai



Northern BKK

2,350 MB



Chonburi

600 MB

5 UPCOMING PROJECTS

3,000 MB





NEW PROJECT

LUMLUKKA K.7

COMING SOON

CUSTOMER-CENTRIC

- UNDERSTANDING MARKET DEMAND
- PERSONALIZED HOME DESIGN
- LOCATION & CONVENIENCE
- QUALITY & INNOVATION
- SEAMLESS BUYING EXPERIENCE
- SUSTAINABLE & SMART LIVING
- POST-SALE ENGAGEMENT

*Growing with needs,
exceeding expectations*



RESIDENT-CENTRIC

- LONG-TERM COMMUNITY CARE
- INNOVATIVE LIVING SOLUTIONS
- SUSTAINABLE UPGRADES
- PROACTIVE MAINTENANCE & SUPPORT
- ENGAGING COMMUNITY DEVELOPMENT
- CONTINUOUS VALUE ENHANCEMENT
- CO-LIVING & CO-WORKING SPACE

*Endless care,
evolving living*

BUSINESS STRATEGY

A steadfast journey toward a brighter, sustainable future

Green



Well-living



G A I A

Grove

Aeris

Innovation

Arbor

A harmonious living experience that balances nature and innovation

G

Grove

A SMALL, SHADY GARDEN THAT CREATES TRANQUILITY AND CONNECTS WITH NATURE

A

Aeris

A PASSING BREEZE THAT BRINGS FRESHNESS AND AIDS NATURAL VENTILATION

I

Innovation

SEAMLESSLY BLEND WITH NATURE THROUGH SUSTAINABLE INNOVATIONS

A

Arbor

OUTDOOR SPACE THAT OFFERS A CLOSE CONNECTION TO NATURE

GREEN & WELL-LIVING STRATEGY



NCPM

GREEN



SIRI ARUN

WELL-LIVING



QLM/Q-PROMPT

**GREEN &
WELL-LIVING**



REGEN

WELL-LIVING



31st NC GROUP

Since 1994
74 PROJECTS
50,150 MB

GREEN AND WELL-LIVING 2025

- G GROVE**
- A AERIS**
- I INNOVATION**
- A ARBOR**

14 ACTIVE PROJECTS
12,500 MB

5 UPCOMING PROJECTS
3,000 MB

	PRESALE TARGET	TRANSFER TARGET
	4,000 MB	2,000 MB

Home Expert. Living Care

SOMNUEK

INFOGRAPHIC BY TERRABKK

TANTHATHOEDTHAM
 MANAGING DIRECTOR

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